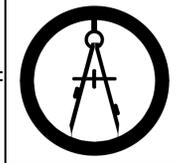


No.	Description	Date
1	Removal of seawall and replacement with open pier system	9-5-2022
2	MHW & MLA Update, Property Line Projection indicated & Lake Bottom Documentation	10-26-2022

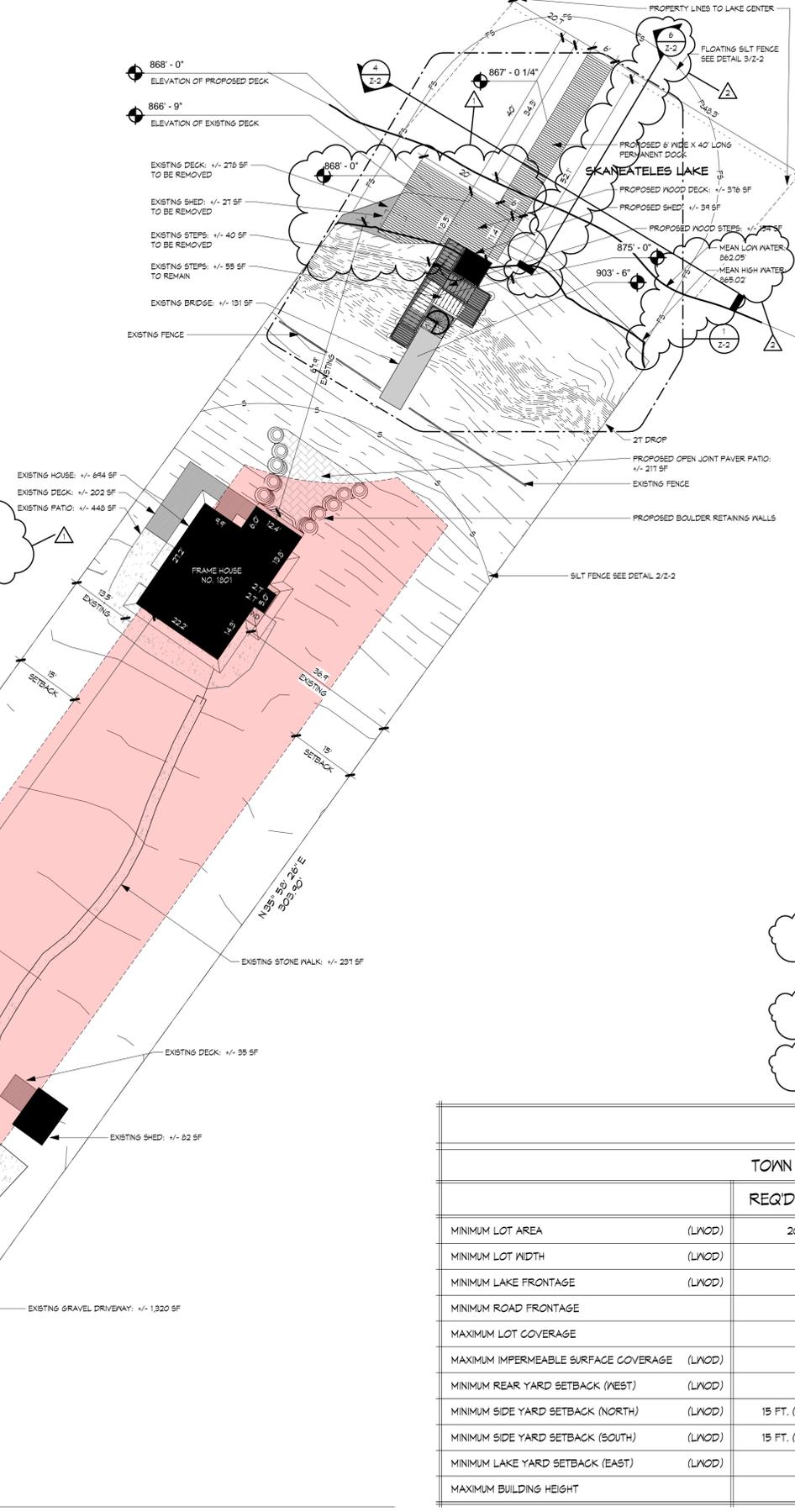


SHORELINE STRUCTURES	
EXISTING CONDITIONS	
ITEM	AREA
EXISTING DECK AREA	+/- 278 SF
EXISTING SHED	+/- 27 SF
EXISTING STEPS	+/- 95 SF
EXISTING BRIDGE	+/- 131 SF
TOTAL	+/- 531 SF

\*PER § 148-T-1K(1)(a)(3)(c) - ON LOTS WITH LESS THAN 100 FT OF LAKE FRONTAGE: A MAXIMUM OF 400 SF

SHORELINE STRUCTURES	
PROPOSED	
ITEM	AREA
PROPOSED WOOD STEPS	+/- 154 SF
PROPOSED SHED	+/- 39 SF
EXISTING STEPS	+/- 55 SF
EXISTING BRIDGE	+/- 131 SF
PROPOSED WOOD DECK	+/- 376 SF
TOTAL	+/- 755 SF

\*PER § 148-T-1K(1)(a)(3)(c) - ON LOTS WITH LESS THAN 100 FT OF LAKE FRONTAGE: A MAXIMUM OF 400 SF



LOT COVERAGE	
EXISTING CONDITIONS	
ITEM	AREA
EXISTING HOUSE AREA	+/- 694 SF
EXISTING GRAVEL DRIVEWAY	+/- 1,320 SF
EXISTING BRIDGE AREA	+/- 131 SF
EXISTING SHED AREA	+/- 27 SF
EXISTING SHED AREA	+/- 82 SF
EXISTING DECK AREA	+/- 278 SF
EXISTING DECK AREA	+/- 35 SF
EXISTING DECK AREA	+/- 202 SF
EXISTING PATIO AREA	+/- 448 SF
EXISTING STONE WALK	+/- 237 SF
EXISTING STEPS	+/- 95 SF
TOTAL	+/- 3,549 SF
DIVIDED BY LOT AREA	+/- 23,155 SF
LOT COVERAGE	+/- 15.33%

IMPERMEABLE SURFACE COVERAGE	
EXISTING CONDITIONS	
ITEM	AREA
EXISTING HOUSE AREA	+/- 694 SF
EXISTING GRAVEL DRIVEWAY	+/- 1,320 SF
EXISTING BRIDGE AREA	+/- 131 SF
EXISTING SHED AREA	+/- 27 SF
EXISTING SHED AREA	+/- 82 SF
TOTAL	+/- 2,254 SF
DIVIDED BY LOT AREA	+/- 23,155 SF
IMPERMEABLE SURFACE COVERAGE	+/- 9.73%

LOT COVERAGE	
PROPOSED	
ITEM	AREA
EXISTING HOUSE AREA	+/- 694 SF
EXISTING GRAVEL DRIVEWAY	+/- 1,320 SF
EXISTING BRIDGE AREA	+/- 131 SF
PROPOSED SHED AREA	+/- 39 SF
EXISTING SHED AREA	+/- 82 SF
EXISTING DECK AREA	+/- 278 SF
EXISTING DECK AREA	+/- 35 SF
EXISTING DECK AREA	+/- 202 SF
EXISTING PATIO AREA	+/- 448 SF
EXISTING STONE WALK	+/- 237 SF
EXISTING STEPS TO REMAIN	+/- 55 SF
PROPOSED WOOD DECK	+/- 376 SF
PROPOSED WOOD STEPS	+/- 154 SF
PROPOSED OPEN JOINT PAVER PATIO	+/- 217 SF
TOTAL	+/- 4,288 SF
DIVIDED BY LOT AREA	+/- 23,155 SF
LOT COVERAGE	+/- 18.43%

IMPERMEABLE SURFACE COVERAGE	
PROPOSED	
ITEM	AREA
EXISTING HOUSE AREA	+/- 694 SF
EXISTING GRAVEL DRIVEWAY	+/- 1,320 SF
EXISTING BRIDGE AREA	+/- 131 SF
PROPOSED SHED AREA	+/- 39 SF
EXISTING SHED AREA	+/- 82 SF
TOTAL	+/- 2,266 SF
DIVIDED BY LOT AREA	+/- 23,155 SF
IMPERMEABLE SURFACE COVERAGE	+/- 9.79%

DENSITY CONTROL SCHEDULE						
TOWN OF SKANEATELES / RF - RURAL AND FARMING / LAKE WATERSHED OVERLAY DISTRICT						
	REQ'D./ALLOWED	EXISTING	PROPOSED	DIFFERENCE	REQ'D. VARIANCE	CODE REFERENCE
MINIMUM LOT AREA (LNOD)	20,000 SF	+/- 23,155 SF	+/- 23,155 SF	NO CHANGE	-	PER § 148-9-9A(1)(a)
MINIMUM LOT WIDTH (LNOD)	50 FT.	+/- 75.0 FT.	+/- 75.0 FT.	NO CHANGE	-	PER § 148-9-9A(1)(b)
MINIMUM LAKE FRONTAGE (LNOD)	75 FT.	+/- 83.7 FT.	+/- 83.7 FT.	NO CHANGE	-	PER § 148-9-9A(1)(c)
MINIMUM ROAD FRONTAGE	100 FT.	+/- 75.0 FT.	+/- 75.0 FT.	NO CHANGE	+/- 25.00 FT. (P.E.N.C.)	PER § 148-4-2C(1)(b)
MAXIMUM LOT COVERAGE	20%	+/- 15.33%	+/- 17.32%	+/- 1.99%	-	PER § 148-4-2C(1)(b)
MAXIMUM IMPERMEABLE SURFACE COVERAGE (LNOD)	10%	+/- 9.73%	+/- 9.79%	+/- 0.06%	-	PER § 148-9-9A(1)(n)
MINIMUM REAR YARD SETBACK (LNOD)	25 FT	+/- 194.1 FT.	+/- 194.1 FT.	NO CHANGE	-	PER § 148-9-9A(1)(e)
MINIMUM SIDE YARD SETBACK (NORTH) (LNOD)	15 FT. (75.0 FT. x .20)	+/- 13.5 FT.	+/- 13.5 FT.	NO CHANGE	+/- 1.5 FT. (P.E.N.C.)	PER § 148-9-9A(1)(d)
MINIMUM SIDE YARD SETBACK (SOUTH) (LNOD)	15 FT. (75.0 FT. x .20)	+/- 36.9 FT.	+/- 36.9 FT.	NO CHANGE	-	PER § 148-9-9A(1)(d)
MINIMUM LAKE YARD SETBACK (EAST) (LNOD)	60 FT.	+/- 67.9 FT.	+/- 67.9 FT.	NO CHANGE	-	PER § 148-9-9A(1)(f)
MAXIMUM BUILDING HEIGHT	35 FT.	+/- 22.6 FT.	+/- 22.6 FT.	NO CHANGE	-	PER § 148-4-2C(1)(b)

\* (P.E.N.C.) - PRE-EXISTING NON-CONFORMING.

1 Site Plan  
 Z-1 SCALE: 1/16" = 1'-0"

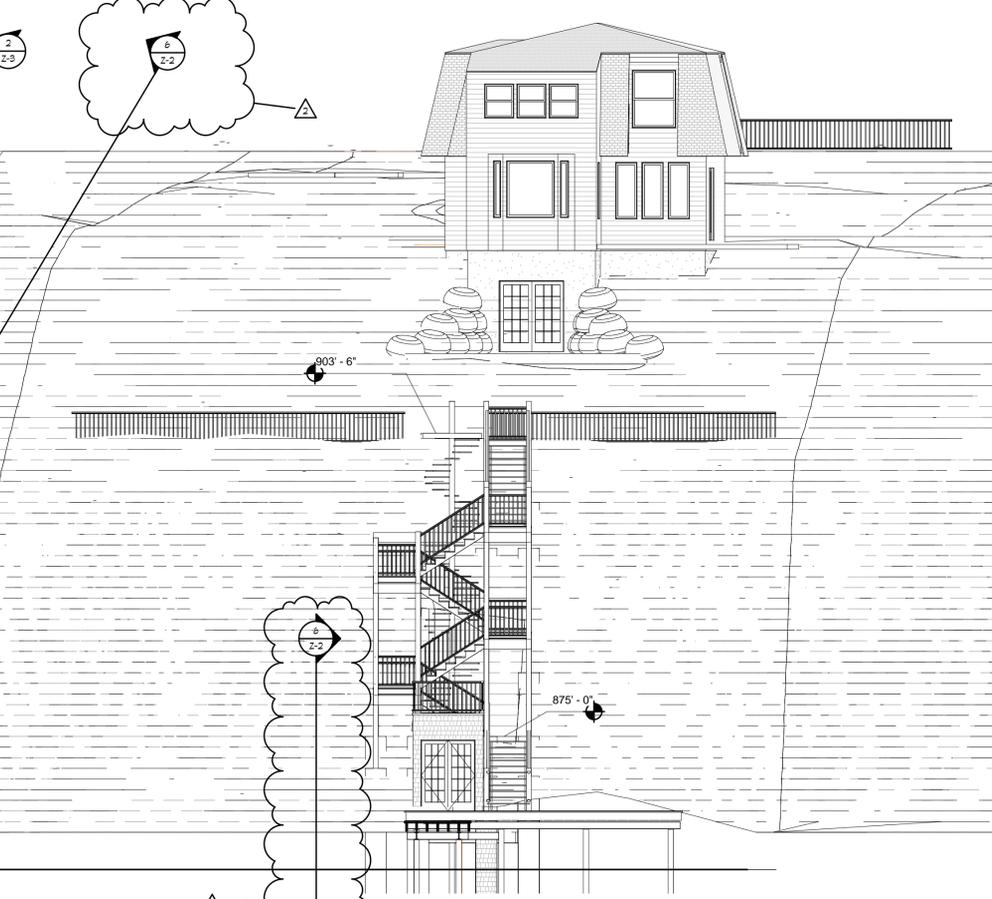
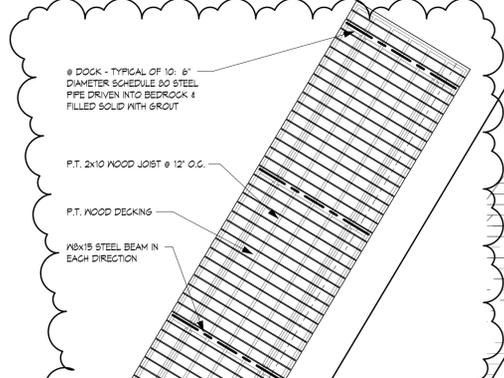
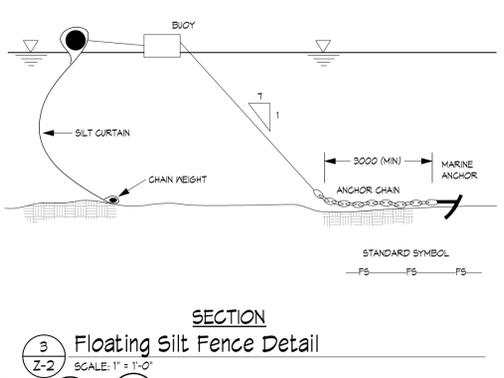
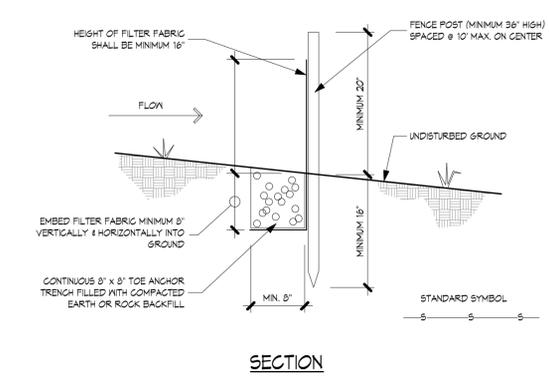
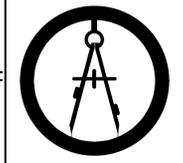
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE PRIOR TO THE COMPLETION OF ANY WORK AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES FOUND.  
 ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED.

COPYRIGHT © PART 645(B) OF TITLE VII OF THE EDUCATION LAW OF NEW YORK PROHIBITS ANY AND ALL ALTERATIONS TO THIS DRAWING OR DOCUMENT BY ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT. ANY SUCH ALTERATIONS SHALL BE NOTED, SEALED, AND SIGNED BY THE ALTERING ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 645(B).

Project Number: 2022-10  
 Date: 01/31/22  
 Scale: As indicated  
 Drawn By: WLM  
 Checked By: Checker

**ZONING**  
**Z-1**  
 Zoning Submittal: 05.04.2022

No.	Description	Date
1	Removal of seawall and replacement with open pier system	9-5-2022
2	MHW & MLLA update, Property Line Projection indicated & Lake Bottom Documentation	10-26-2022



**CONSTRUCTION NOTES FOR FABRICATING SILT FENCE**

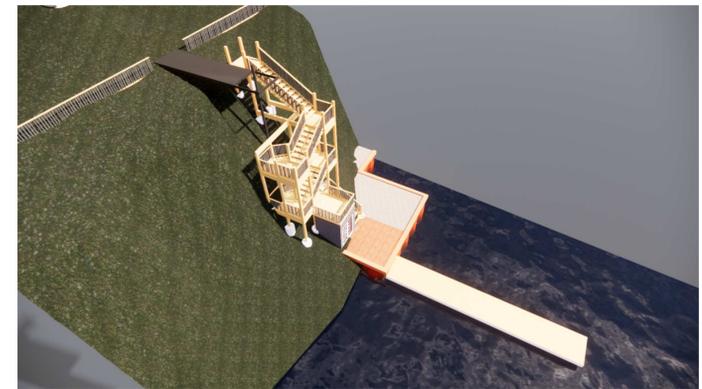
- NOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER FABRIC TO BE FASTENED SECURELY TO NOVEN WIRE FENCE WITH TIES SPACED AT EVERY 24" ON CENTER (AT TOP AND MID-SECTION).
- WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX (6) INCHES AND FOLDED. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN SILT FENCE.

POSTS: 2" HARDWOOD OR STEEL (EITHER 1" OR 1 1/2" TYPE)  
 FENCE: NOVEN WIRE 14 GA. (6" MAXIMUM MESH OPENING)  
 FILTER FABRIC: MIRAFI 100X OR APPROVED EQUAL  
 PREFABRICATED UNIT: MIRAFI ENVIRONMENT OR APPROVED EQUAL

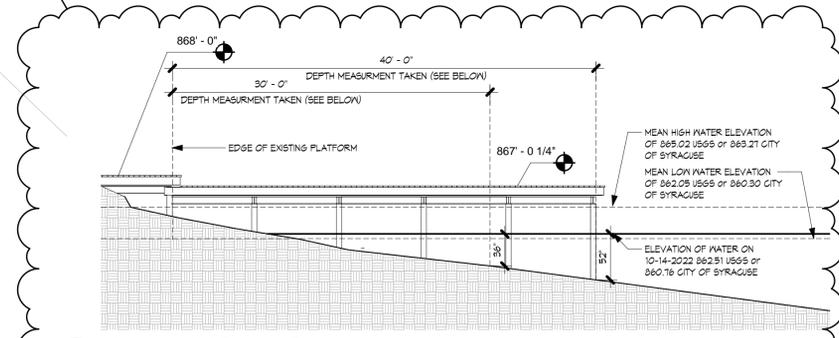
**2 Silt Fence Detail**  
 SCALE: 1" = 1'-0"

**3 Floating Silt Fence Detail**  
 SCALE: 1" = 1'-0"

**4 SITE SECTION**  
 SCALE: 1/8" = 1'-0"

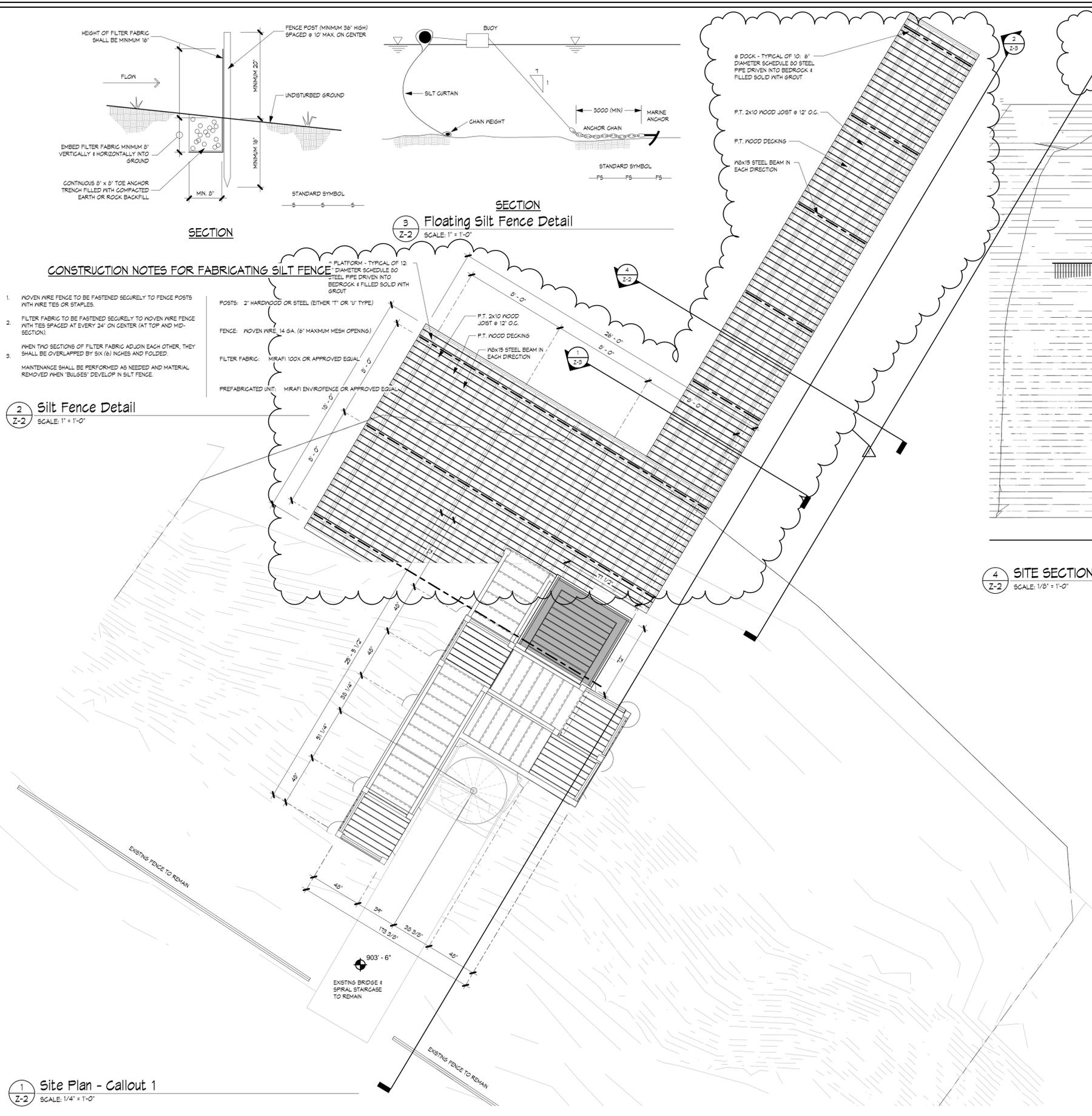


**5 BIRDSEYE VIEW**  
 SCALE: 12" = 1'-0"



**6 DOCK DEPTH SECTION**  
 SCALE: 1/8" = 1'-0"

**1 Site Plan - Callout 1**  
 SCALE: 1/4" = 1'-0"

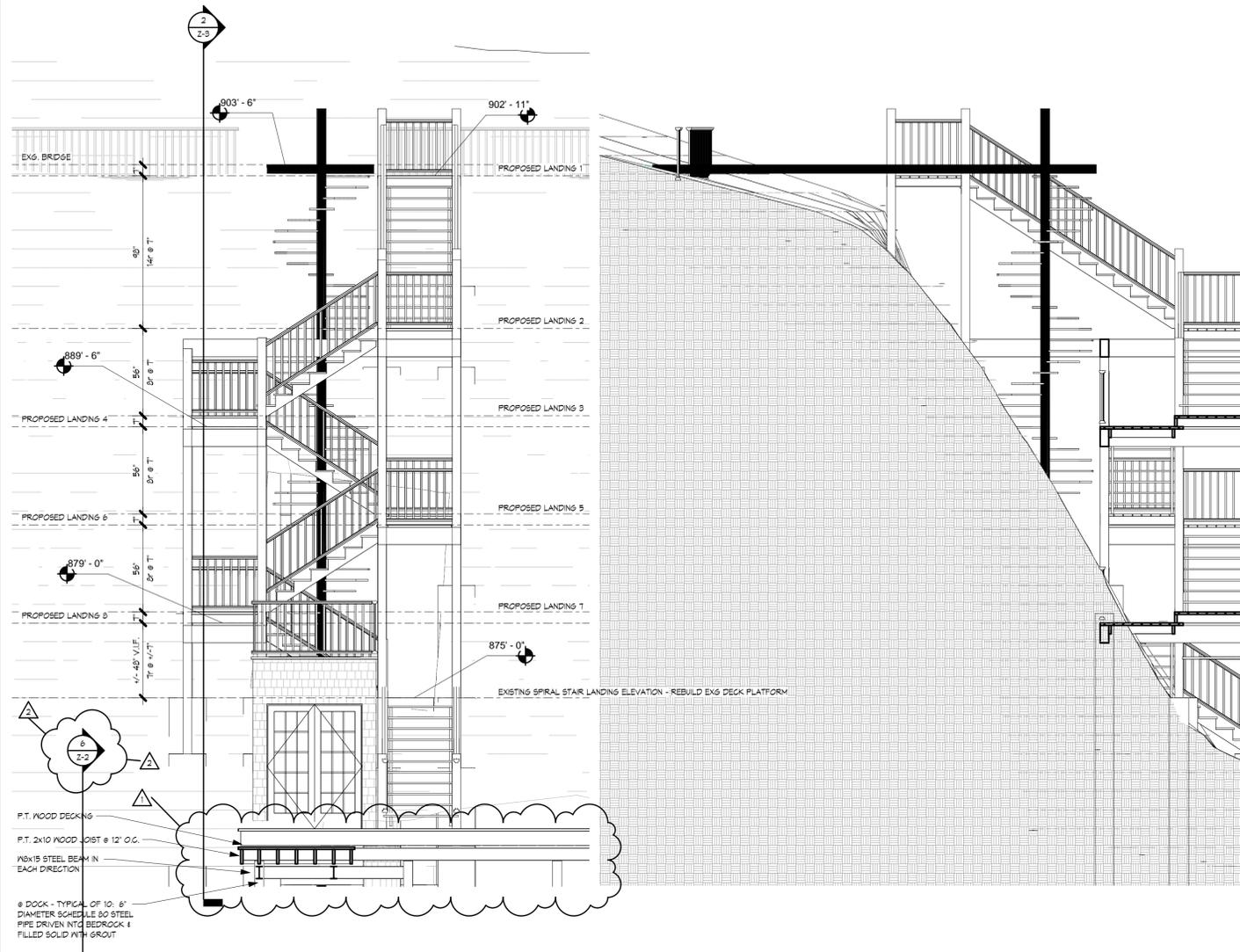


THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE PRIOR TO THE COMPLETION OF ANY WORK AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES FOUND.  
 ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED.

COPYRIGHT © 2022 BY SPACE ARCHITECTURAL STUDIO, P.C. ALL RIGHTS RESERVED. PART 645(B) OF TITLE VII OF THE EDUCATION LAW OF NEW YORK PROHIBITS ANY AND ALL ALTERATIONS TO THIS DRAWING OR DOCUMENT BY ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT. ANY SUCH ALTERATIONS SHALL BE NOTED, SEALED, AND SIGNED BY THE ALTERING ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 645(B).

Project Number: 2022-10  
 Date: 02/15/22  
 Scale: As indicated  
 Drawn By: WLM  
 Checked By: Checker

**ZONING**  
**Z-2**  
 Zoning Submittal: 05.04.2022

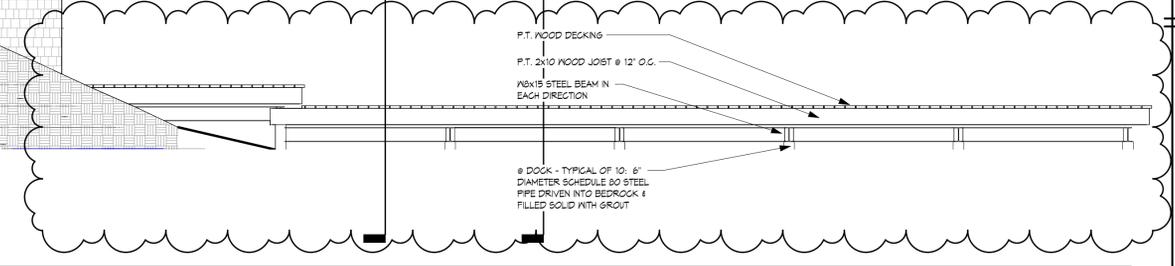


1 STAIR SECTION A  
SCALE: 1/4" = 1'-0"

2 STAIR SECTION B  
SCALE: 1/4" = 1'-0"

6% FOOTPRINT ANALYSIS	
EXISTING CONDITIONS	
ITEM	AREA
EXISTING FOOTPRINT AREA - HOUSE	+/- 694 SF
EXISTING FOOTPRINT AREA - SHED	+/- 21 SF
EXISTING FOOTPRINT AREA - SHED	+/- 82 SF
TOTAL	+/- 803 SF
DIVIDED BY LOT AREA	+/- 23,155 SF
TOTAL FOOTPRINT AREA % OF LOT	+/- 3.41%

10% FLOOR SPACE ANALYSIS	
EXISTING CONDITIONS	
ITEM	AREA
EXISTING FLOOR SPACE AREA - HOUSE - 1ST FLOOR	+/- 694 SF
EXISTING FLOOR SPACE AREA - HOUSE - 2ND FLOOR	+/- 694 SF
EXISTING FLOOR SPACE AREA - SHED	+/- 21 SF
EXISTING FLOOR SPACE AREA - SHED	+/- 82 SF
TOTAL	+/- 1,491 SF
DIVIDED BY LOT AREA	+/- 23,155 SF
TOTAL FLOOR SPACE AREA % OF LOT	+/- 6.41%

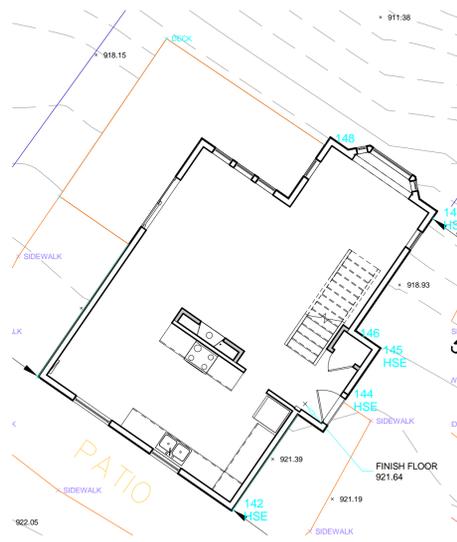


6% FOOTPRINT ANALYSIS	
PROPOSED	
ITEM	AREA
EXISTING FOOTPRINT AREA - HOUSE	+/- 694 SF
PROPOSED FOOTPRINT AREA - SHED	+/- 39 SF
EXISTING FOOTPRINT AREA - SHED	+/- 82 SF
TOTAL	+/- 815 SF
DIVIDED BY LOT AREA	+/- 23,155 SF
TOTAL FOOTPRINT AREA % OF LOT	+/- 3.52%

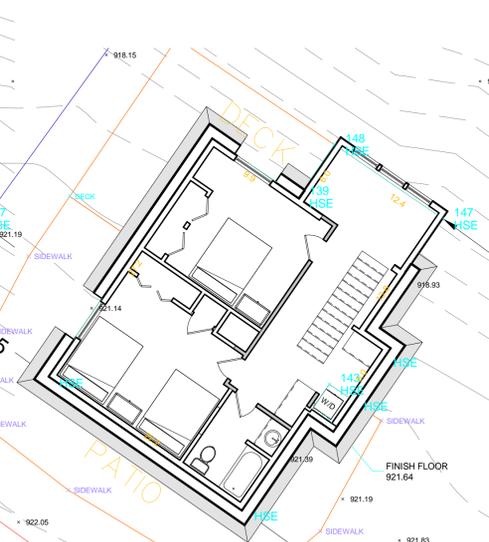
10% FLOOR SPACE ANALYSIS	
PROPOSED	
ITEM	AREA
EXISTING FLOOR SPACE AREA - HOUSE - 1ST FLOOR	+/- 694 SF
EXISTING FLOOR SPACE AREA - HOUSE - 2ND FLOOR	+/- 694 SF
PROPOSED FLOOR SPACE AREA - HOUSE - BASEMENT	+/- 694 SF
PROPOSED FLOOR SPACE AREA - SHED	+/- 39 SF
EXISTING FLOOR SPACE AREA - SHED	+/- 82 SF
TOTAL	+/- 2,203 SF
DIVIDED BY LOT AREA	+/- 23,155 SF
TOTAL FLOOR SPACE AREA % OF LOT	+/- 9.51%



3 PROPOSED BASEMENT FLOOR PLAN  
SCALE: 1/8" = 1'-0"



4 PROPOSED FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



5 PROPOSED SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE PRIOR TO THE COMPLETION OF ANY WORK AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES FOUND.  
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED.

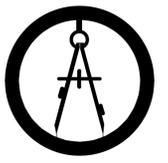
COPYRIGHT © PART 645(B) OF TITLE VII OF THE EDUCATION LAW OF NEW YORK PROHIBITS ANY AND ALL ALTERATIONS TO THIS DRAWING OR DOCUMENT BY ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT. ANY SUCH ALTERATIONS SHALL BE NOTED, SEALED, AND SIGNED BY THE ALTERING ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 645(B).

Project Number: 2022-10  
Date: 02/17/22  
Scale: As indicated

Drawn By: MLM  
Checked By: Checker

ZONING

Z-3



**SPACE Architectural Studio, P.C.**  
3 Fennell Street, Suite #2 Skaneateles, N.Y. 13152  
Phone: (315) 685-0540 Email: SPACArchitecturalStudio@yahoo.com

**PROPERTY RENOVATION** for  
**Joseph Mollendorf**  
1801 RUSSELLS LNDG  
SKANEATELES, NY 13152

No.	Description	Date
1	Removal of seawall and replacement with open pier system	9-5-2022
2	MHW & MUA Update, Property Line Projection indicated & Lake Bottom Documentation	10-26-2022

Zoning Submittal: 05.04.2022